

I, JUSTIN G. MCKEOWN, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN DB: 7293 PG: 801, ETC.); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN PLAT CAB: --- PAGE ---; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:30,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL. THIS 17TH DAY OF MARCH, 2022.

THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

NOTES:

- PID#09156027, 09156028 & 09156029
- DEED REFERENCE-- DB: 7293 PG: 801
- MAP REFERENCE-- PC: B PG: 358A
- BOUNDARY SURVEY ONLY THROUGH POINTS AS SHOWN. THIS PROPERTY IS LOCATED IN ZONE X, PER FIRM COMMUNITY PANEL 3710544500J, EFFECTIVE 10-16-2008.
- THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL RECORDED OR UNRECORDED EASEMENTS, RIGHTS-OF-WAY, OR RESTRICTIVE COVENANTS, OTHER THAN SHOWN.
- AREA COMPUTED BY COORDINATED METHOD.
- NO NCGS MONUMENT FOUND WITHIN 2000'.
- IRON PINS SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
- PROPERTY CURRENTLY ZONED GB (MONROE).
- FRONT SETBACK = 50' SIDEYARD = 0' REARYARD = 0'

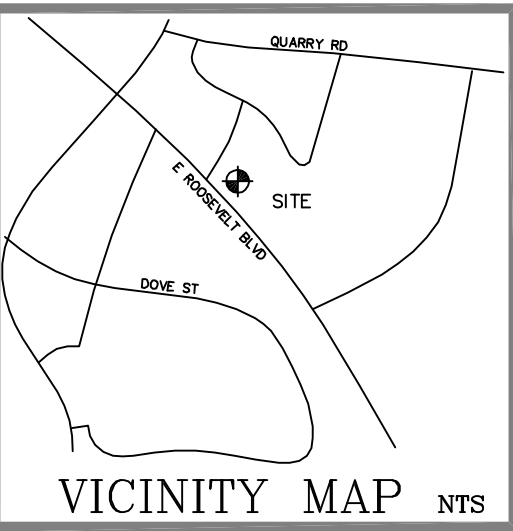
THE PURPOSE OF THIS PLAT IS RECOMBINE THE 3 EXISTING PARCELS INTO 1.

NCPLS #L-4739



LEGEND

SYMBOLS	DESCRIPTION
DB	DEED BOOK
PB	PLAT BOOK
PG	PAGE
PID	PARCEL IDENTIFICATION
CP	CALCULATED POINT
EIR	EXISTING IRON REBAR
TP	TELECOMMUNICATIONS PEDESTAL
U	UTILITY POLE
R/W	RIGHT OF WAY
OHE	OVERHEAD ELECTRIC
S	SANITARY SEWER MANHOLE
RCP	REINFORCED CONCRETE PIPE
WV	WATER VALVE
HYD	FIRE HYDRANT



**ROOSEVELT BOULEVARD  
U.S. HIGHWAYS 74 & 601**  
(150' PUBLIC R/W)

TOTAL AREA  
191,633 Sq Ft  
4.40 Ac.  
AREA INSIDE R/W  
13,770 Sq Ft  
0.32 Ac.  
AREA OUTSIDE R/W  
177,864 Sq Ft  
4.08 Ac.

CERTIFICATE OF SUBDIVISION ADMINISTRATOR APPROVAL  
APPROVED FOR THE RECORDING BY THE CITY OF MONROE, NC SUBDIVISION ADMINISTRATOR PURSUANT TO CHAPTER 156 OF THE CITY OF MONROE CODE OF ORDINANCES. THIS PLAT SHALL BE RECORDED WITHIN THIRTY DAYS OF THIS DATE.

SUBDIVISION ADMINISTRATOR \_\_\_\_\_ DATE \_\_\_\_\_  
STATE OF NORTH CAROLINA  
COUNTY OF UNION

REVIEW OFFICER OF UNION COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

PID#09153030  
BRIGHT SPOT BAPTIST CHURCH  
DB: 7501 PG: 202

CERTIFICATE OF OWNERSHIP AND DEDICATION  
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, WHICH IS LOCATED IN THE JURISDICTION OF UNION COUNTY, AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH MINIMUM BUILDING SETBACK LINES, AND DEDICATE OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED.

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

I, \_\_\_\_\_ A NOTARY PUBLIC OF \_\_\_\_\_ COUNTY, NORTH CAROLINA, CERTIFY THAT HEATH EUGENE & KELLY MARIE HINSON, PERSONALLY APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT, WITNESS MY HAND AND OFFICIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

MY COMMISSION EXPIRES \_\_\_\_\_

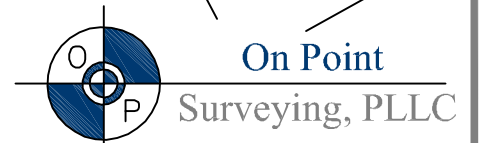
NOTARY PUBLIC \_\_\_\_\_

PID#09156026  
JSK HOSPITALITY LLC  
DB: 8297 PG: 406

GRAPHIC SCALE



( IN FEET )  
1 inch = 40 ft.



Revisions:

Scale:  
1"=40'  
(H)  
(V)

Drawn by:  
J.G.M.  
Approved by:  
E.G.M.  
Date:  
3-17-2022  
LDD:  
EROOSEVELTBLVD

A RECOMBINATION PLAT OF  
PID#09156027, 09156028 & 09156029  
AT THE INTERSECTION OF  
E ROOSEVELT BOULEVARD & VANN STREET  
CITY OF MONROE, UNION COUNTY, NC

**On Point Surveying, PLLC**  
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