

**GEM**  
CEM Management, Inc.

LAND DEVELOPMENT AREA INSPECTORS  
Urban Forester/Zoning: Kelly Robertson 704.607.8897  
Senior Engineer: Robbey Zih 704.334.8300

Parcel No. 14108404 & 14108409  
Owner: CEM Management, Inc.  
Address: 14108404 Ave: 704.57.1801  
City: Charlotte, NC 28217

Lot: 14108404 Area: 1.23 AC = 53,578 SF  
NEW IMPROVED AREA = 9,375 SF  
Lot: 14108409 Area: 1.27 AC = 55,321 SF  
NEW IMPROVED AREA = 8,547 SF

PARKING SCHEDULE:  
PROPOSED OFFICE BUILDING EXPANSION 875 SF  
PROPOSED WAREHOUSE EXPANSION 3,445 SF  
PARKING REQUIRED 0.25 / 1000 SF OF SPACES  
TOTAL PROVIDED: 520 SPACES

Note:  
1. All curb & gutter typical for site.  
2. All curb & gutter typical for parking drives, etc.  
3. 4" W/paint stripe (WHITE) for parking drives, etc.  
ASPHALT:  
UP: ABC  
DOWN: 9.5% RAMP COURSE  
2" PS 9.5% SURFACE COURSE

**JMA**  
James M. Anderson  
Professional Engineer  
14108404 Ave  
Charlotte, NC 28217

2012 Building and Parking Expansion  
Charlotte, North Carolina  
Site Plan

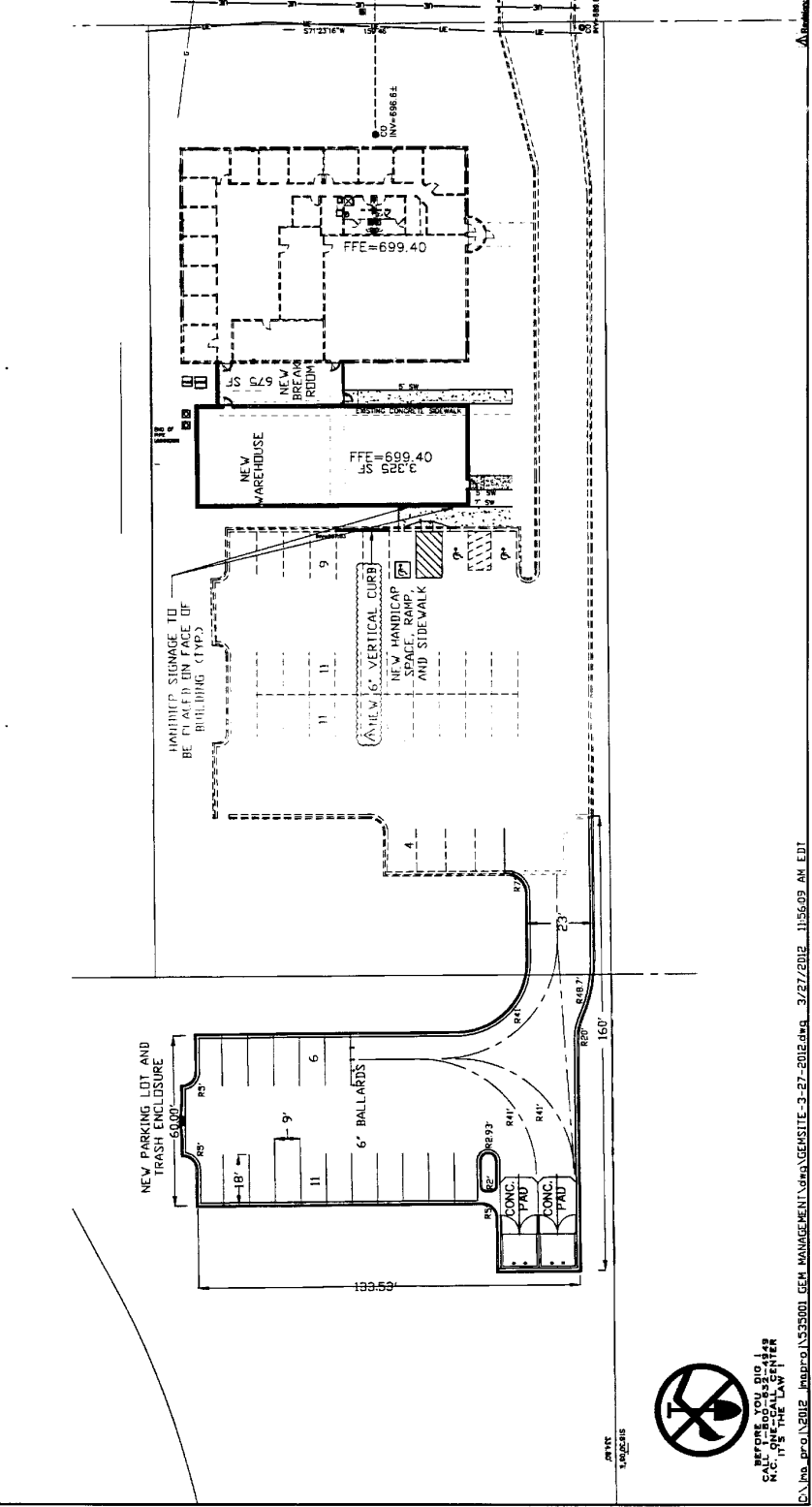
Project: 2012 Building and Parking Expansion  
Graphic Scale: 0 10 20 30 40  
Scale: (1"=20')

Revisions:  
No. 1 Date: 3/27/2012  
By: JMA  
Checked: JMA  
No. 2 Date: 3/27/2012  
By: JMA  
Checked: JMA

Engineer: James M. Anderson  
Professional Engineer  
14108404 Ave  
Charlotte, NC 28217

Professional Engineer Seal: JAMES M. ANDERSON, No. 35350, State of North Carolina

Project Number: 535001  
Sheet No. of 5  
Date: 3/27/2012



PLEASE YOU DO NOT SCALE THIS DRAWING  
CALL OR VISIT US AT  
14108404 AVE  
CHARLOTTE, NC 28217

**GENERAL ARCHITECT NOTES:**

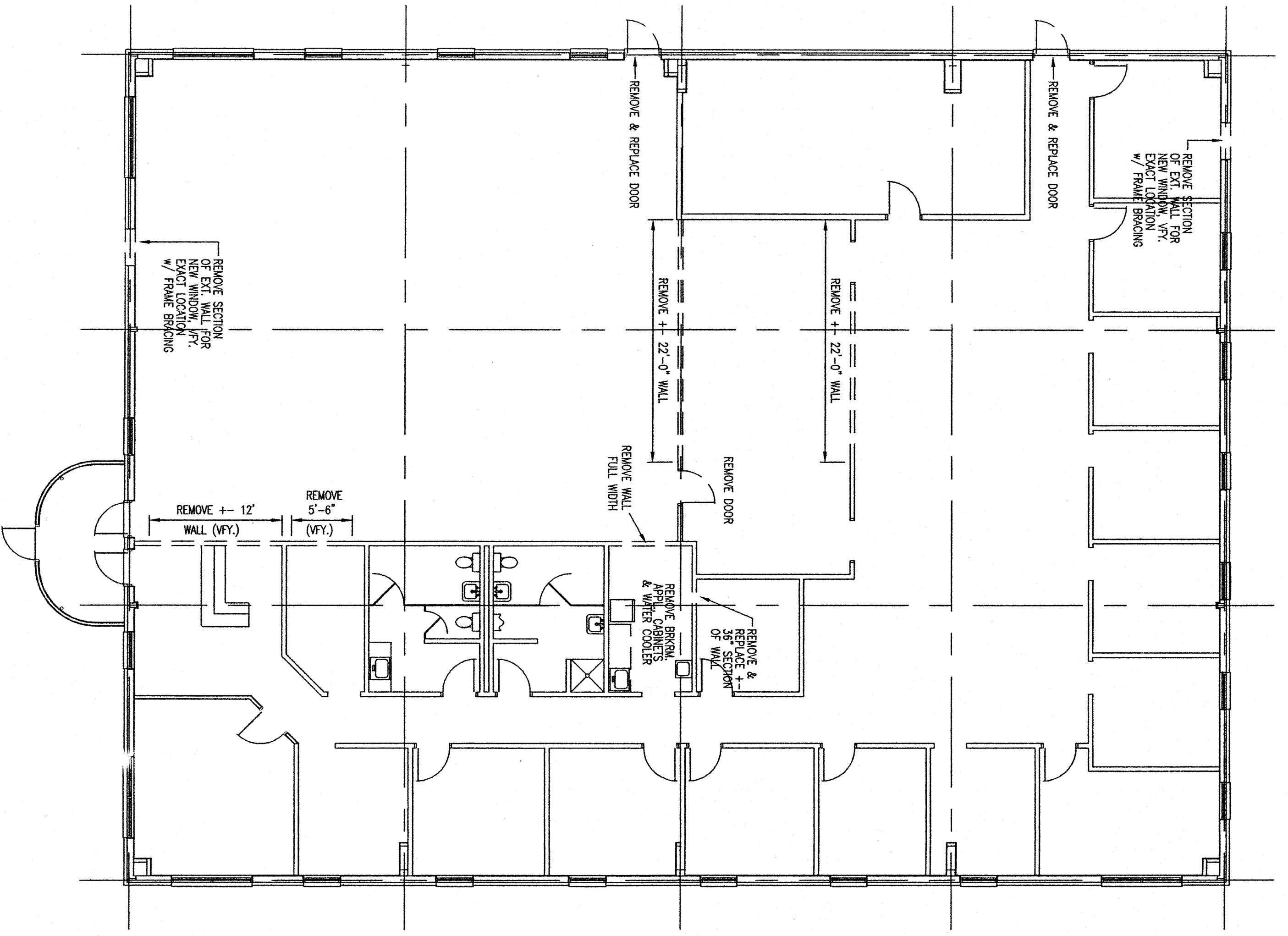
- Products or items specified by brand names shall indicate a quality of product desired. "Or equal" substitutions shall be approved by the Owner and/or architect. Technical information, cut sheets, etc. required to support or equal items shall be provided by the contractor. Approval of substitutions prior to bid is strongly recommended.
- Subs, material suppliers and installers shall not install any material that will conflict, react or interfere with adjacent materials without first giving written notice to the architect. Notice to the contractor shall show the specific location of the conflict. Sub, supplier or material handler calling to provide notice to the contractor shall replace damaged materials, as originally installed, in a timely manner, at no additional cost to the contractor or Owner.
- Contractor shall ensure that all appropriate permits (including demolition permits) required by regulating authorities are secured and all fees are paid.
- Contractor shall ensure that all work shall be constructed with new, first quality materials and all workmanship shall be in accordance with the latest appropriate industry standards (ASTM, AISC, CRSI, etc.).
- The term "shout" indicates mandatory. "May" indicates discretionary.
- All roof penetrations shall be weatherproofed with "Daklite" or equal flashing system in standard or high temperature range as required.
- In renovation work, it is virtually impossible to detail previously existing conditions. Conditions not defined by the contractor shall mean construction with new first quality materials in accordance with appropriate industry standards. Framing shown for existing conditions was taken from existing conditions and some conditions could not be verified. Contractor shall verify all conditions with the architect and/or engineer with any questions concerning situations not covered by the plans.
- When removing existing walls, partitions and/or other items, said item is not structurally or otherwise essential to the integrity of the building.
- All work shall comply with all applicable safety rules, codes and regulations. All work shall be inspected and approved by appropriate regulating authorities. Work shall conclude with issuance of the certificate of occupancy and completion of the Owner's punch list items.
- Verify all dimensions prior to ordering materials and/or work.
- Work indicated or clearly intended to remain shall be protected during construction and shall be repaired or replaced if damaged during the construction process.
- See foundation plan for soil bearing value assumed for construction. Excavations for footings and areas under the slab shall be checked as they are opened during construction. If actual values are found in the subsoil, follow the design engineer's instructions. If by agreement the Owner is to provide this service, it shall be the responsibility of the contractor to insure third party liability.
- Concrete shall be a minimum of 3000psi strength.
- Contractor shall have 24 hr. emergency on-call for placement of the slab. Furnish to the Owner a written treatment and on offer of a quote for the slab on an annual basis.
- Contractor shall be responsible for the removal of all debris on an annual basis.
- Contractor awareness and skill in construction is essential to verify all existing dimensions of existing conditions and suggested that the GC verify dimensions of existing conditions commencing work.

**MECHANICAL CONTRACTOR CODE ENFORCEMENT**

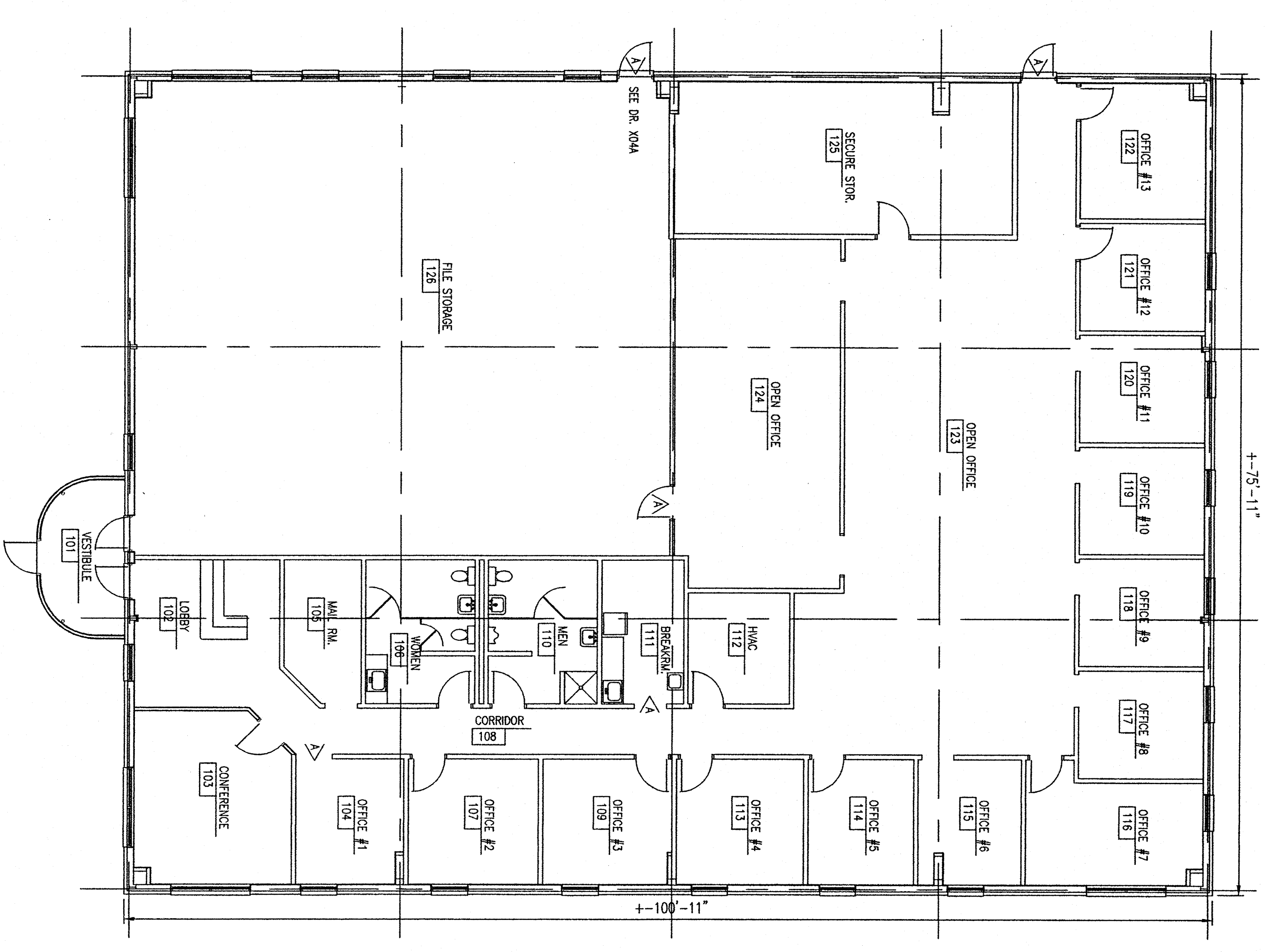
The Design in These Construction Documents Have Been Reviewed For Compliance With The State Building Code. The Contractor Shall Be Responsible For Obtaining All Necessary Permits And Licenses. THIS IS A DEMOLITION PLAN WITH THE NORTH CAROLINA STATE BUILDING CODE.

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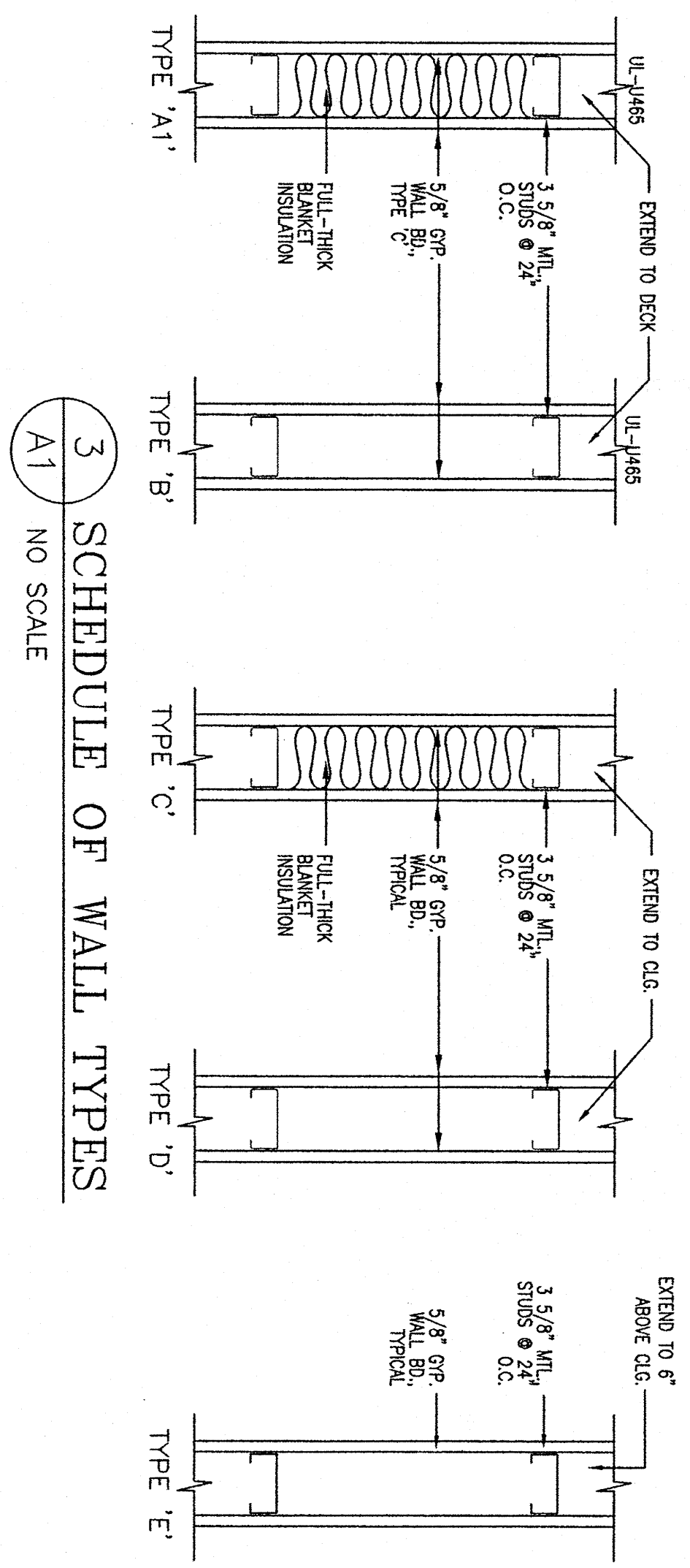


**2 DEMOLITION PLAN**  
A1 1/8" = 1'-0"



**1 EXISTING PLAN**  
A1 1/8" = 1'-0"

SEE REFLECTED CEILING PLANS FOR WALL TYPE DESIGNATIONS



**3 SCHEDULE OF WALL TYPES**  
A1 NO SCALE

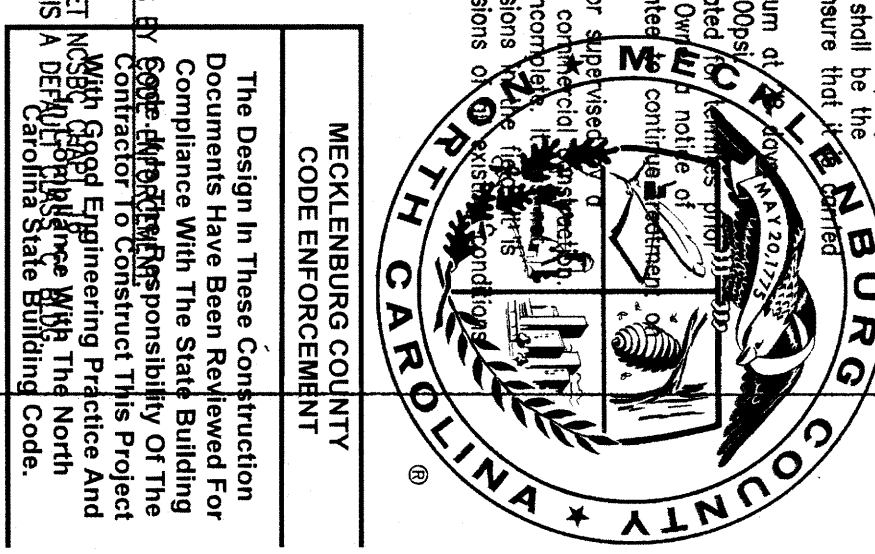
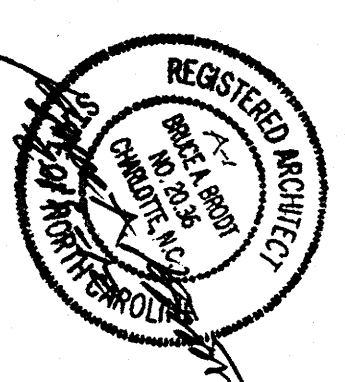
**FOR CONSTRUCTION**

Renovations & Additions for:

**GEM Management**  
2021 Cross Beam Drive  
Charlotte, North Carolina 28217

Revision	Date	Description	By
12-001	02-15-12	EXISTING FLOOR PLAN	
12-001	02-15-12	DEMOLITION FLOOR PLAN	

Drawn By: **Bruce A. Brodt, Architect**



NOTE: CONTRACTOR'S OPTION.  
ALL CABINETS ARE PLASTIC  
INTERIORS W/ ARCHITECTURAL GRADE  
ORIENTED STRAND BOARD CORES  
VERIFY W/ OWNER BEFORE FABRICATION

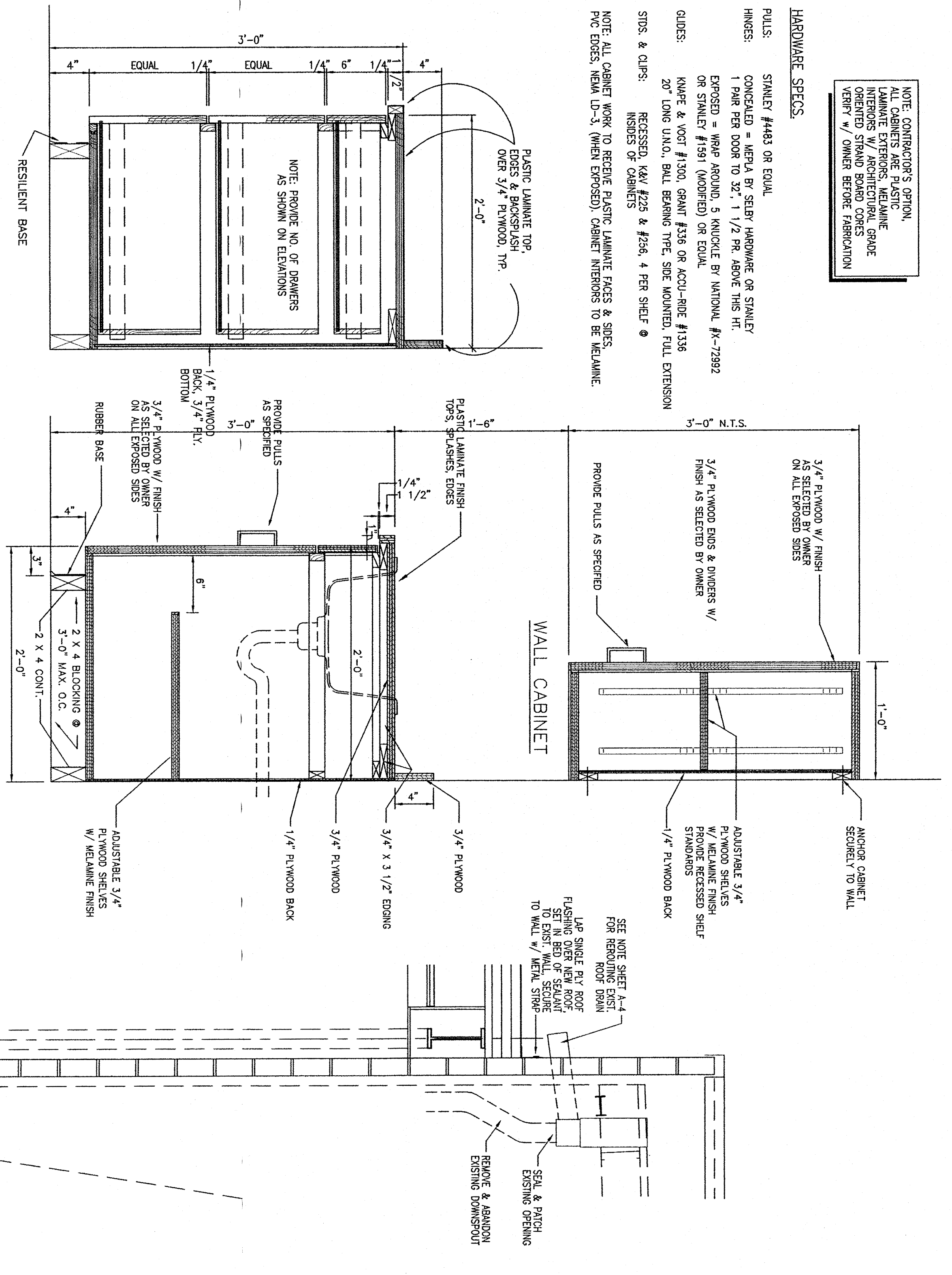
**HARDWARE SPECS:**

**PULLS:**  
STANLEY #4493 OR EQUAL  
CONCEALED = MEDIA BY SELBY HARDWARE OR STANLEY  
1" PULL PER DOOR TO 32", 1 1/2" PULL ABOVE THIS HT.  
EXPOSED = WIRE AROUND 5" KNOCKOUT BY NATIONAL FK-72992  
OR STANLEY #1911 (MODIFIED) OR EQUAL

**GLIDES:**  
HAFE & COCT #1300, GRANT #316 OR ACQU-RODE #1336  
20" LONG UNLO, BALL BEARING TYPE, SIDE MOUNTED, FULL EXTENSION

**STOPS & CLIPS:**  
RECESSED, K&M #225 & #256, 4" PER SHELF

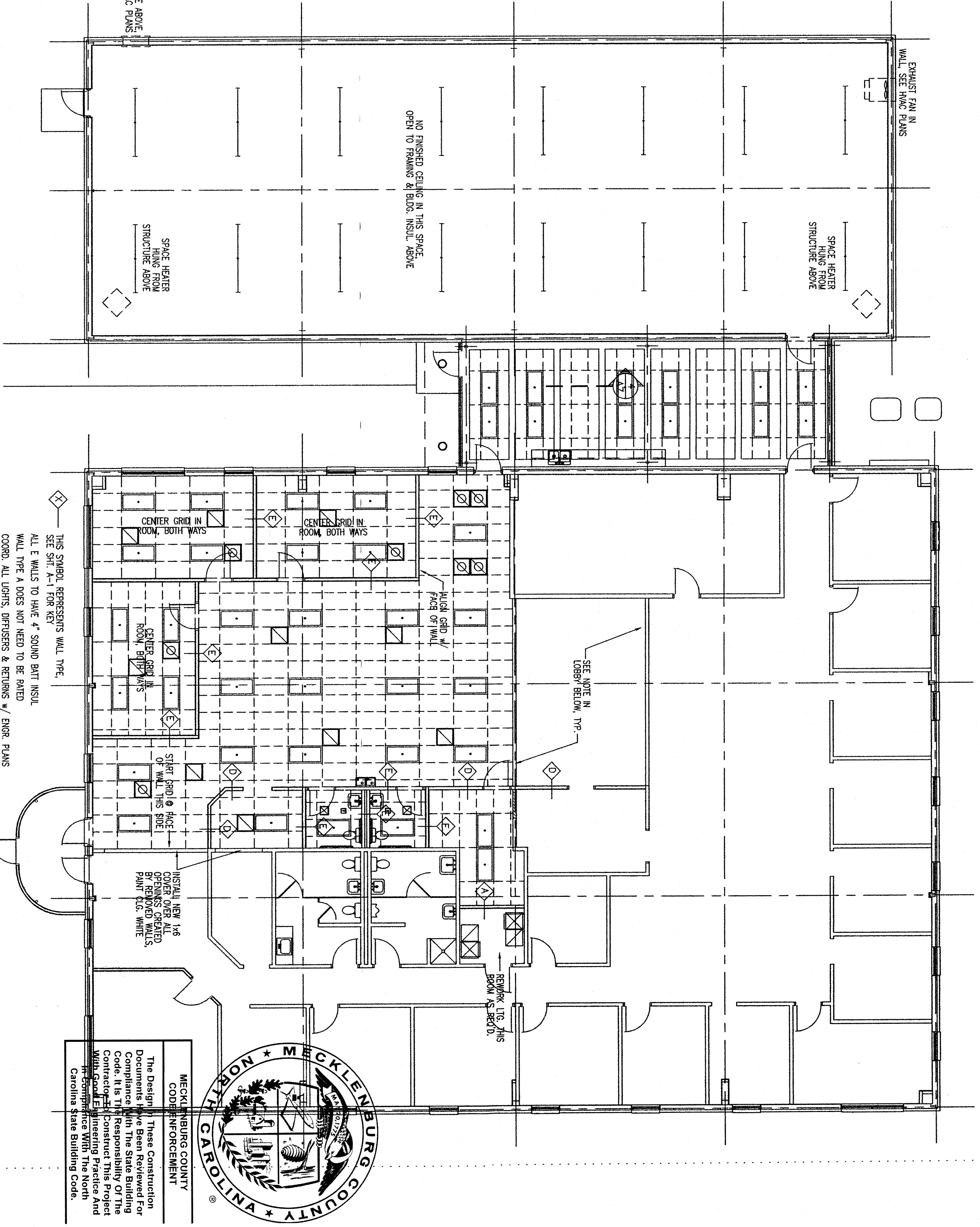
NOTE: ALL CABINET WORK TO BE DONE PLASTIC LAMINATE FACES & SIDES  
PVC EDGES, NEMA LD-3, (WHEN EXPOSED) CABINET INTERIORS TO BE MELAMINE



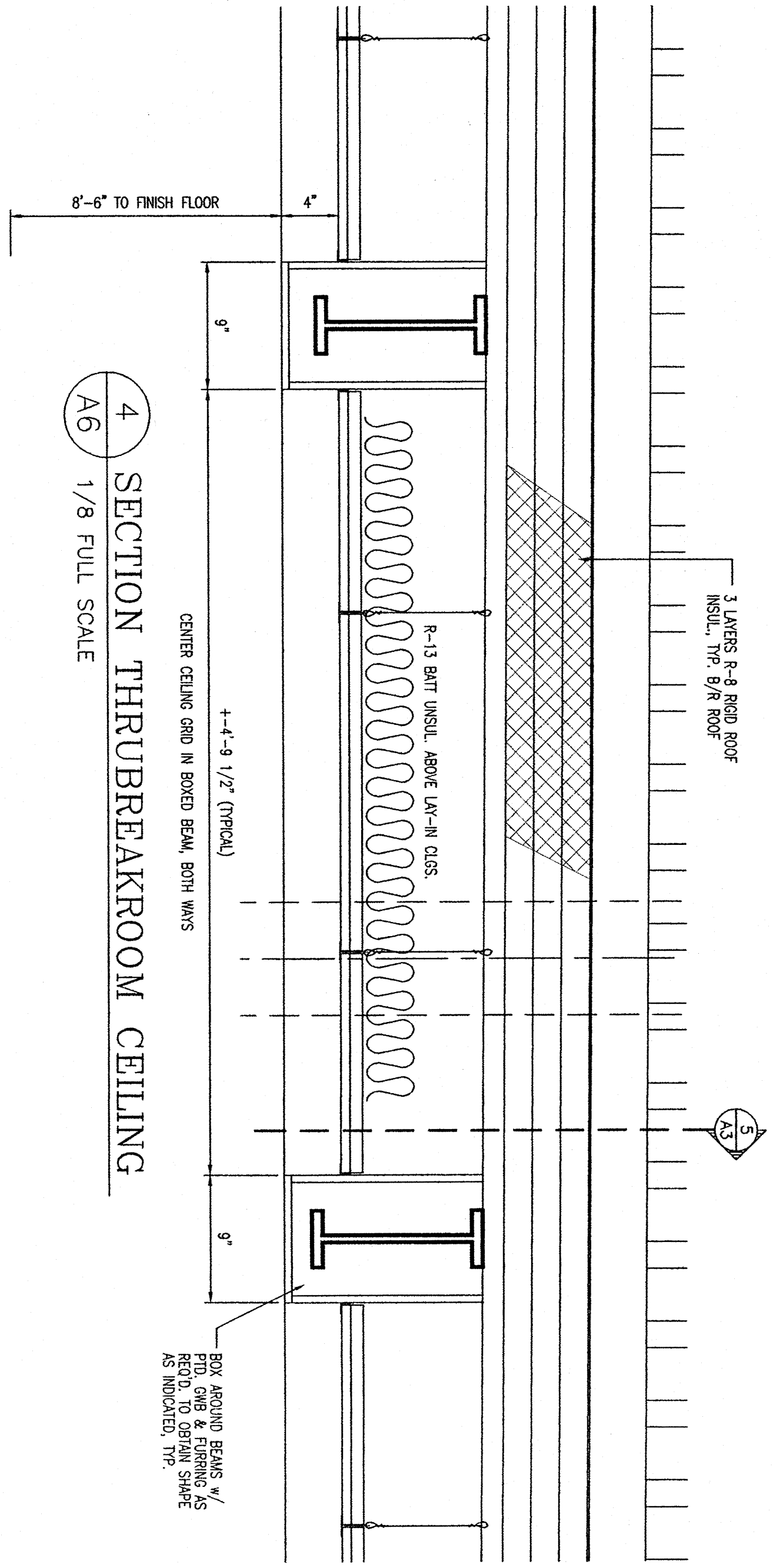
3 CABINET SECTION @ DRAWERS  
1/8" FULL SCALE

2 SECTION THRU TYP. CABINET  
1/8" FULL SCALE

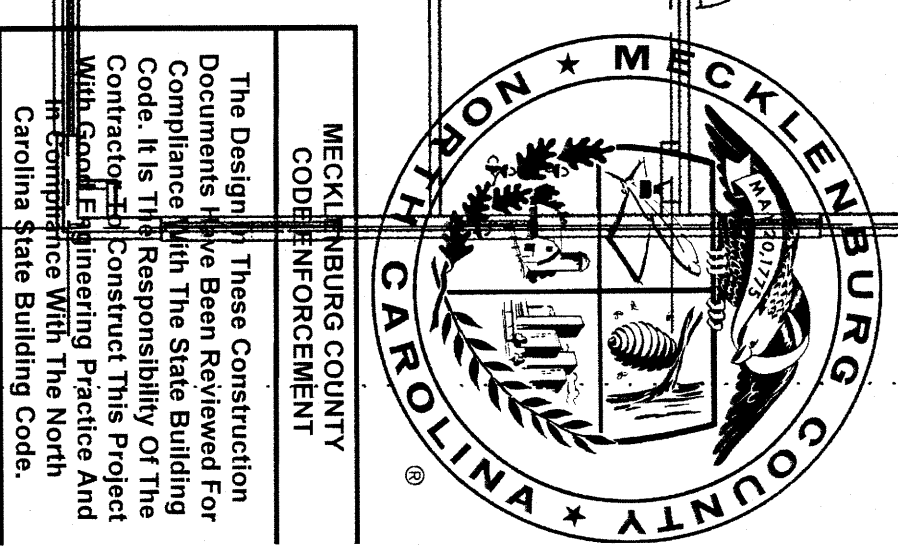
5 WALL SECTION  
3/4" = 1'-0"



1 REFLECTED CEILING PLAN  
1/8" = 1'-0"



4 SECTION THRU BREAKROOM CEILING  
1/8" FULL SCALE



FOR CONSTRUCTION

Revision	Date	Description	By

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**GEM Management**  
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REFLECTED CEILING PLANS  
CABINET DETAILS  
**Bruce A. Brodt, Architect**  
12-001  
A-6  
of 8  
Sheet

